

7X GROUP
OFFERING BETTER LIFE
ISO 9001:2015

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7X
SPARSH
VILLA
4 BHK



Opulent Living

THE
PROLOGUE
TO A LAVISH LIFESTYLE



WELCOME!

WITNESS THE ENCHANTMENT OF THE SPARSH VILLA LIFE UNFOLD NOT SIMPLY AS AN ARCHITECTURAL STYLE BUT AS A WAY OF LIFE. WITH BREATHTAKING FACADES AND LUXURIOUS VARIATIONS, THE SPARSH VILLA DISTINCTIVELY DEFINE THE SPATIAL ORGANIZATION AND THE SERENE PRESENCE OF NATURE IN THE EMBRACES OF OUR HOMES. THE SPARSH VILLA SING A BALLAD SURPASSING THE RICH TRADITIONS AND BRINGING ONE CLOSER TO THEIR CULTURAL ROOTS. BASK IN THE MELLOWEST MOODS OF AUTUMN AND SOAK IN THE PLEASANT ZEPHYR OF A SUNNY WINTER DAY. ALL IN THE LAPS OF A SPECTACULAR SPARSH VILLA HOME.

7X
SPARSH
VILLA

4 BHK OPULENT LIVING





THE INGRESS TO AN
ELYSIAN
LIFESTYLE

LET THE ROOTS OF SERENITY SEEP INTO
YOUR HEART AND PLANT THE SEEDS OF
REGALTY.
AS THE VERDURE OF NATURE CREATES
A WARM INTIMACY,
ALLOW YOURSELF TO DRIFT INTO A
BOKETTO.





7X
SPARSH
VILLA



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VILLA



7X
SPARSH
VILLA



4 BHK VILLA
ALL PLAN PRESENTATION BOOK

PASTING



SITE PLAN

7X SPARSH VILLA AREA TABLE

7X SPARSH VILLA				7X SPARSH VILLA			
PLOT NO	TYPE	PLOT AREA (SQ.FT.)	TOTAL B-UP AREA (SQ.FT.)	PLOT NO	TYPE	PLOT AREA (SQ.FT.)	TOTAL B-UP AREA (SQ.FT.)
1	A	1663.28	1852.98	25	B	1029.62	1945.10
2	A	987.23	1852.98	26	B	1029.62	1945.10
3	A	996.70	1852.98	27	B	1070.08	1945.10
4	A	1006.17	1852.98	28	B	1112.80	1945.10
5	A	1015.74	1852.98	29	B	1118.07	1945.10
6	A	1025.21	1852.98	30	B	1133.46	1945.10
7	B	1177.14	1945.10	31	B	1282.48	1945.10
8	B	1162.08	1945.10	32	B1	1033.39	1941.65
9	B	1029.62	1945.10	33	B1	1029.62	1941.65
10	B	1029.62	1945.10	34	B1	1029.62	1941.65
11	B	1277.32	1945.10	35	B1	1029.62	1941.65
12	B	1070.08	1945.10	36	B1	1029.62	1941.65
13	B	1029.62	1945.10	37	B1	1029.62	1941.65
14	B	1029.62	1945.10	38	B1	1029.62	1941.65
15	B	1162.08	1945.10	39	B1	1029.62	1941.65
16	B	1162.08	1945.10	40	B1	1029.62	1941.65
17	B	1029.62	1945.10	41	B1	1029.62	1941.65
18	B	1029.62	1945.10	42	B1	1029.62	1941.65
19	B	1070.08	1945.10	43	B1	1162.19	1941.65
20	B	1070.08	1945.10	44	C	1109.68	2065.91
21	B	1029.62	1945.10	45	C	1130.02	2065.91
22	B	1029.62	1945.10	46	C	1150.35	2065.91
23	B	1162.08	1945.10	47	C	1931.74	2065.91
24	B	1162.08	1945.10				



24 hours auto-generator back up for common area



Earthquake resistance RCC Framed structure



Compound Wall



RCC road

Common details



Security system with CCTV camera



Well designed entry gate



Security cabin



Weather shield Max/Apex Ultima paint on external wall



Double coat plaster on external wall



Underground water tank

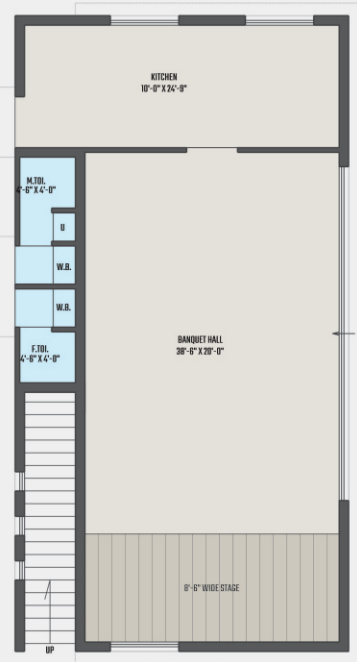


Street light

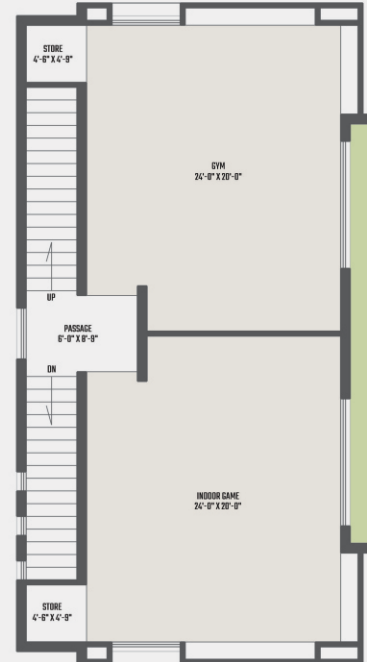


GROUND & FIRST FLOOR PLAN

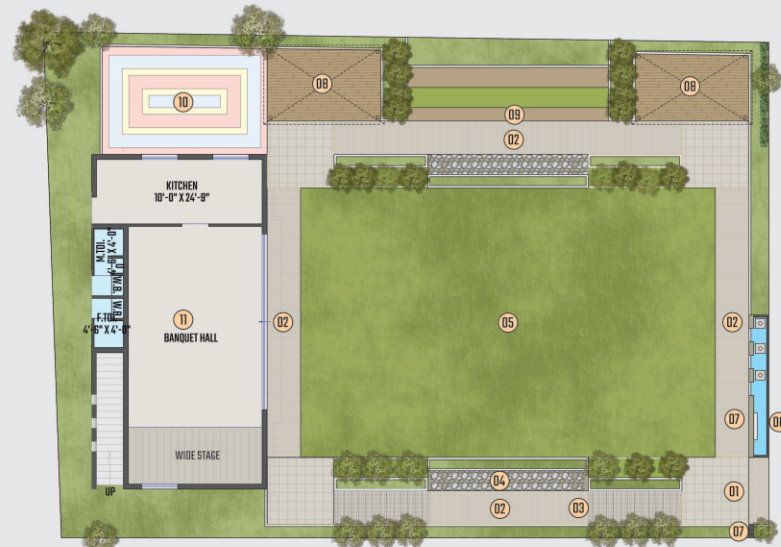
GROUND FLOOR PLAN



FIRST FLOOR PLAN



CLUB HOUSE GROUND FLOOR PLAN



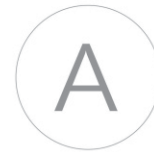
LANDSCAPE AND AMENITIES

- 01) Entrance plaza
- 02) Pathway
- 03) Fabricated pergola structure
- 04) Pebble bed
- 05) Party lawn
- 06) Water feature

- 07) Feature wall
- 08) Gazebo
- 09) Amphitheatre
- 10) Children play area
- 11) Club house

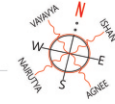
- Club house**
- Banquet Hall
- Kitchen
- Gym
- Indoor game area
- Wide stage



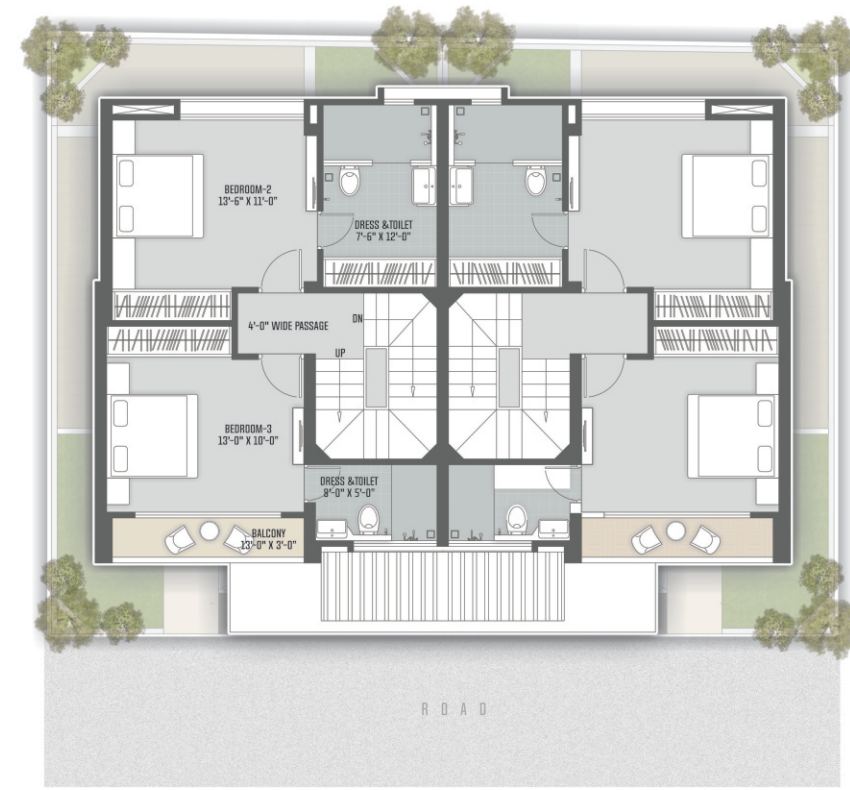


GROUND / FIRST & SECOND FLOOR PLAN
(UNIT NO. :- 01 to 06)

A-TYPE GROUND FLOOR PLAN
(UNIT NO. :- 01 to 06)



A-TYPE FIRST FLOOR PLAN
(UNIT NO. :- 01 to 06)



A-TYPE SECOND FLOOR PLAN
(UNIT NO. :- 01 to 06)

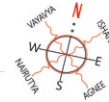




B

GROUND / FIRST & SECOND FLOOR PLAN
(UNIT NO. :- 07 to 31)

B-TYPE GROUND FLOOR PLAN
(UNIT NO. :- 07 to 31)



B-TYPE FIRST FLOOR PLAN
(UNIT NO. :- 07 to 31)



B-TYPE SECOND FLOOR PLAN
(UNIT NO. :- 07 to 31)

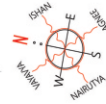




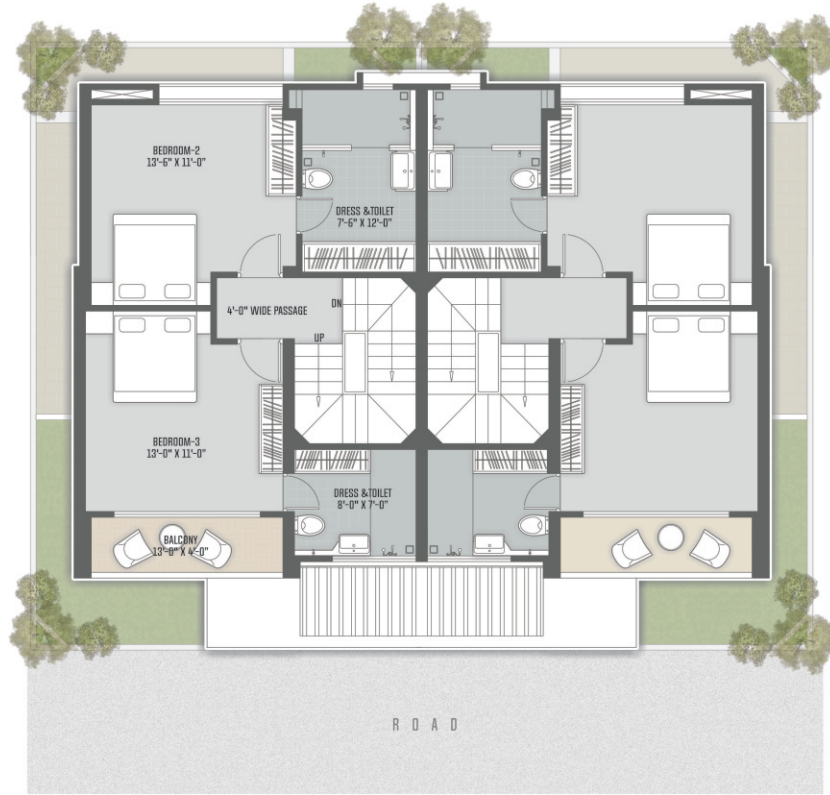
B1

GROUND / FIRST & SECOND FLOOR PLAN
(UNIT NO. :- 32 to 43)

B1-TYPE GROUND FLOOR PLAN
(UNIT NO. :- 32 to 43)



B1-TYPE FIRST FLOOR PLAN
(UNIT NO. :- 32 to 43)



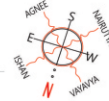
B1-TYPE SECOND FLOOR PLAN
(UNIT NO. :- 32 to 43)



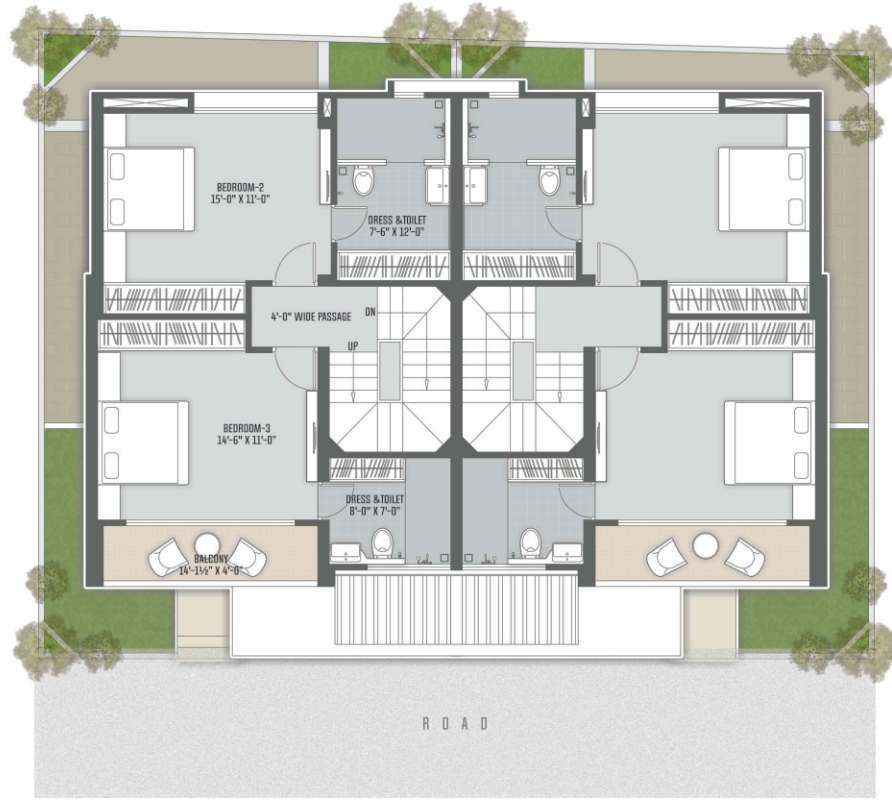
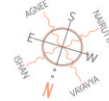


GROUND / FIRST & SECOND FLOOR PLAN
(UNIT NO. :- 44 to 47)

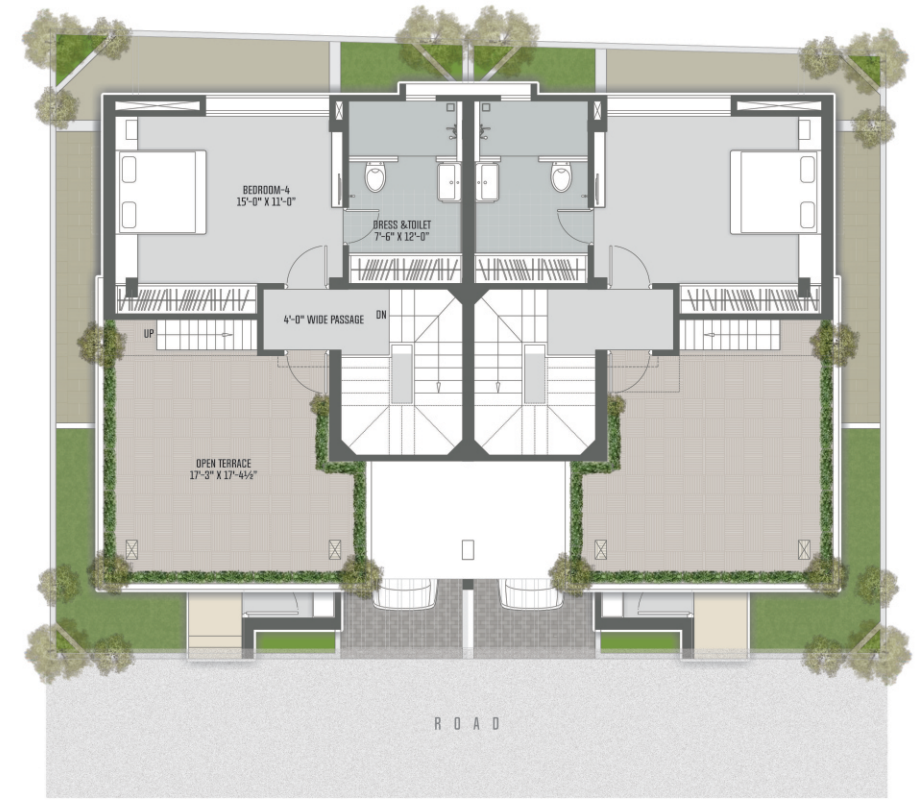
C-TYPE GROUND FLOOR PLAN
(UNIT NO. :- 44 to 47)



C-TYPE FIRST FLOOR PLAN
(UNIT NO. :- 44 to 47)



C-TYPE SECOND FLOOR PLAN
(UNIT NO. :- 44 to 47)





GROUND FLOOR PLAN



FIRST FLOOR PLAN



SECOND FLOOR PLAN







CLUBHOUSE

07

7X
SPARSH
VILLA



7X
SPARSH
VILLA



TRANSCENDING ERAS AND CULTURE

INTRODUCING ELEGANCE AT ITS PINNACLE, WITH SOPHISTICATED EMBEDED IN EACH DESIGN, THE DECOR IS ABLAZE WITH CONSCIENTIOUS FITTINGS AND AESTHETIC APPEALS. THE MANTRA TO EXEMPLARY LIVING, PARADISAL EXPERIENCES AND EVERLASTING IMPACTS. THE AVENUE THAT IS LOOKED WITH COVETOUS EYES WILL SURELY BE THE PRICELESS JEWEL IN THE CROWN OF ASSETS.



7X
SPARSH
VILLA



Internal specification

Flooring
 • Standard vitrified flooring

Kitchen & Store
 • Granite platform with standard quality sink
 • Decorative glaze/porcelain tile on kitchen platform up to lintel level
 • Common wash basin with tiles dado
 • Kota or marble shelf in store
 • Kota flooring and glazed tiles dado with marble sill top in Wash area

Toilet and plumbing
 • Anti-skid tiles flooring and well designed wall tiles up to lintel level
 • Jaguar or equivalent CP fitting with concealed plumbing
 • Standard quality sanitary fitting
 • European wall hung WC in all toilet
 • CPVC/UPVC piping for plumbing
 • Centrally geyser point provision

Electrification
 • Concealed copper wiring of R. R or Finolex or Equivalent with sufficient point in all rooms
 • AC, TV, Internet point
 • Standard make modular switches & accessories

Door & Windows
 • Well designed main door with wooden frame
 • Standard hardware fitting
 • Heavy anodized coated sliding aluminum windows
 • Window granite fram

Internal wall
 • Single coat mala plaster with putti finished

WE REQUEST:
 -Stamp duty, registration charges, legal charges, GEB meter and electrical charges (Quotations, Transformer, Cables, Contractor and other charges), society maintenance charges from the date of BUCI etc. Shall be borne by the purchaser.
 -GST, VAT, Service tax, TDS & all other taxes levied in future will be borne by the purchaser.
 -Any additional charges or duties levied by the government/local authorities during or after the completion of the scheme will be borne by the purchaser.
 -In the interest continual developments in design & quality of construction, the developer reserves all rights to make any changes in the scheme including technical specification, designs, planning, layout & all purchases shall abide by such changes.
 -Changes/Alteration of any nature including elevation, exterior colour scheme, balcony grill or any other changes affecting the overall design concept & lookout of the scheme are strictly not permitted during or after the completion of the scheme.
 -Any RCC member (beam, column & slab) must not be damaged during your interior work.
 -Low-voltage cables such as telephone, TV, and internet cables shall be strictly laid as per consultant's service drawings with prior consent of developer/builder office.
 -No wire / cables / conduits shall be laid or installed such that they from hanging formation on the building exterior face.
 -Common passage / landscaped area not allowed to be used for personal purpose.
 -This brochure is intended only for easy display & information of the scheme and does not form part of legal documents.

NOTE:
 -All rights for alteration / modification and development in design or specifications by architects and developer shall be binding to all the members.
 -This brochure is for private circulation only. By no means, it will form part of any legal contract.

LEGAL DISCLAIMER:
 -All furniture/objects shown in the plan or pictorial images are for presentation & easy understanding purpose only. By no means, it will be part of final deliverable product.
 -All the elements, objects, treatments, materials, equipment & colour scheme shown are artisan's impression and purely for presentation purpose. By no means, it will form a part of the amenities, features or specification of our final products.
 -Dimensions mention in building plan are wall-to-wall dimensions & it does not include finishing detail like plaster, putty & dado tiles.

A PROJECT BY



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ARCHITECT



STR. CONSULTANT

